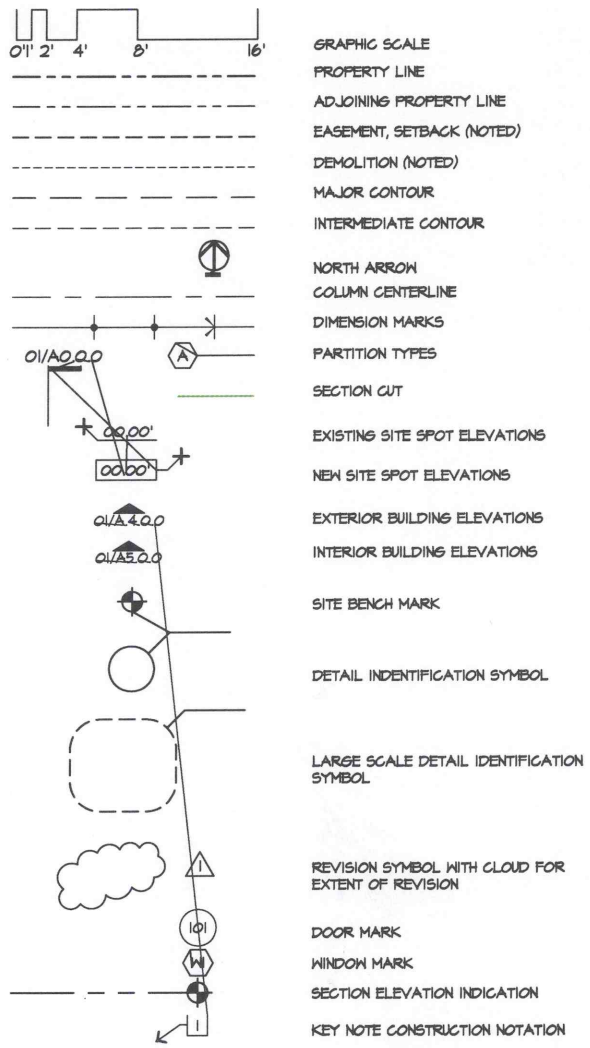
5/26/08



STANDARD SYMBOLS 5

SITE LOCATION MAP

LEGAL DESCRIPTION/LOC. MAP 2

INF0 General Project Information
INF02 General Project Information
Architectural

A1.0 Overall Floor Plan
A1.2 Finishes + Schedule
A4.0 Partitions
A5.0 Millwork Details
A5.1 Millwork Details
A5.2 Millwork Details
A5.3 Millwork Details
A6.0 Standards
A6.1 Standards
A6.2 Doors + Frames
A6.3 Door Schedule

Mechanical / Plumbing / Electrical
M1.0 Mechanical Plan + notes
P1.0 Plumbing Plan + notes
P2.0 Notes + fixture schedule
E1.0 Electrical Power Plan
E2.0 Electrical Lighting Plan
E3.0 Electrical Notes
Record copy original E3.0 Electrical Risers + Panel

INDEX OF DRAWINGS 1

WEBB ARCHITECTS
ARCHITECTURE PLANNING URBAN DESIGN
5901 KIRBY DRIVE SUITE 916
HOUSTON TEXAS 77005
713.522.5946

REGISTERED ARCHITECT DOUGLAS WEBB 5214 STATE OF TEXAS
05 JUN 2008

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281.286.6666

REVISION
ISSUED
26 MAY 2008

CHRISTUS ST JOHN
NEW PHYSICAL THERAPY FACILITY
2500 MARINA BAY DRIVE EAST
LEAGUE CITY, TEXAS

DRAWING TITLE

08.020 PROJECT NUMBER
DRAWING FILE NAME
26 MAY 2008 DATE
SCALE
DRAWING NUMBER

INFO

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13. The Contractor shall replace or repair to like-new condition all items damaged on the premises caused by work or related to work in this Contract.
14. If documents show a discrepancy with one another on any item or items, the Contractor is to base the bid on the better quality or more costly of the conditions.
15. Contractor shall maintain the premises in a lean and orderly fashion during the entire construction period. Contractor shall insure that all trash and waste are removed daily from the job site. Landlord's trash facilities shall not be used for construction debris.
16. Contractor shall provide public protection as necessary and as required by codes.
17. All work under this Contract shall be performed by competent workmen and executed in a neat workmanlike manner.
18. The Contractor at his expense will furnish temporary utilities required in the performance of the Work.
19. All work that will be buried or covered will be inspected by the Architect and/or Structural Engineer and approved prior to cover-up. Any work covered prior to the approval may, at the request of the Architect and/or Structural Engineer, be required to be exposed at the expense of the Contractor. Concrete will not be placed until the Architect and/or Structural Engineer verifies depth and presence of reinforcing and vapor barrier.
20. Penetrations that are made through the exterior walls for conduit and/or door openings shall be weather sealed.
21. All materials for partitions, ceilings and finishes shall be of approved non-combustible materials.
22. Do not paint any plaster, bush hammered concrete or pre-finished trim for flashing.
23. At the conclusion of the Work, the building and exterior area will cleared of all construction debris. All foreign matter, marks, stains, foreign paint and dirt will be removed from all surfaces.
24. A copy of all maintenance and operating manuals will be given to the Owner for any equipment installed the building (i.e. HVAC units etc.)
25. All dimensions are marked from face of gypsum board to face of gypsum board or column centerline, unless noted otherwise. Align mullion and partition centerlines at conditions where they abut, unless otherwise noted. Screws or any other mechanical fastners shall not attach partitions abutting window wall/curtain wall mullions. Refer to Sheet A6.0 for partition types.
26. Penetrations in demising partitions above finished ceiling shall be effectively sealed to prevent sound leakage and or maintain fire rating.
27. Provide bracing above ceiling at partitions having long unbraced lengths and at all door and glazing opening jambs in accordance with manufacturer's recommendations.
28. Sound insulation unless specified otherwise shall be: either mineral wool or glass fiber insulation will be acceptable. Insulation shall be either blanket or batt type in widths required to fill voids between studs. For thickness, See Schedules on partitions types, Sheet A6.0.
29. Door uncut not to exceed 1" for all new and relocated doors, measured from the top of the finished floor material to the underside edge of door.
30. No substitution will be made on any specified items without the prior approval of the Architect. Items that are described generically may be supplied by a number of manufacturers but it is the contractor's responsibility to ensure that quality, appearance and function conform to the design intent as shown on the Documents.
31. Provide fire extinguishers per city of League City Fire Code. Fire extinguisher to be ten (10) pound type ABC, Owner Furnished/Owner Installed.

1. The "General Conditions of the Contract for Construction" A201, latest edition, of the American Institute of Architects is hereby made a part of these contract documents to the same extent as bound herein.
2. Definitions:
"Architect" = Webb Architects
"Align" = Finished faces of materials or assemblies to be located in the same plane with respect to each other as indicated.
"AFF" = Abbreviation for above finished floor
"CI" = Abbreviation for Contractor installed item.
"FF" = Abbreviation for finished floor
"NIC" = Work which is not in the Contract, not the responsibility of the Contractor other than for coordination of others
"OF" = Abbreviation for Owner furnished item.
"TYP." or "TYPICAL" = Item so noted as to be applicable in similar conditions throughout.
"VF" = Abbreviation for Vendor furnished item.
"VI" = Abbreviation for Vendor installed item.
3. The Contractor shall be responsible for providing all materials and workmanship in accordance with all applicable health and life safety standards, building codes, ordinances and building covenants. Standards of OSHA shall be adhered to for this project. All permits necessary for the proper execution of the Work shall be secured and paid for by the Contractor.
4. The Contractor shall thoroughly examine the premises and shall base the bid on the existing conditions in conjunction with these documents. The Contractor shall notify the Architect prior to the bid of any discrepancies found with these documents or conflicts with the existing conditions.
5. The Contractor shall notify the Architect of any discrepancies in field conditions or dimensions that are not resolved by the contract documents prior to proceeding with the Work. All coordination problems noted must be clarified by the Architect prior to commencement of the affected work by the Contractor.
6. When submittals are required, the Contractor shall submit data to the Architect only after Contractor review. Contractor to indicate on the submittal that such review has taken place.
7. All work shown as "by others or VF/VI" is not included in this contract. General Contractor will coordinate with other contractors as required for timely completion of the overall project.
8. All work shall be erected plumb and true-to-line in accordance with best practices of the trade and manufactures' recommendations of the particular item.
9. Clear dimensions shall not vary more than 1/8" from side to side, front to back or finished surface to finished surface.
10. Do not scale drawings unless so noted. Dimensions govern. Large-scale details govern over small-scale details. Notify Architect of discrepancies existing in documents for written clarifications.
11. Materials indicated "to be reused" must be free of defect and in good condition or shall be replaced with new, under this Contract. Any material indicated, "to be reused" that is not free of defects shall be brought to the attention of the Architect prior to beginning construction.
12. Provide blocking behind or in wall (fire retardant treated wood blocking) for support of wall cabinets, shelving standards, wood base and similar wall mounted components.

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	26 MAY 2009

CHRISTUS ST JOHN
NEW PHYSICAL THERAPY FACILITY
2500 MARINA BAY DRIVE SUITE
LEAGUE CITY, TEXAS

DRAWING TITLE

08.020 — PROJECT NUMBER

DRAWING FILE NAME

26 MAY 2009 — DATE

SCALE

DRAWING NUMBER

INFO2

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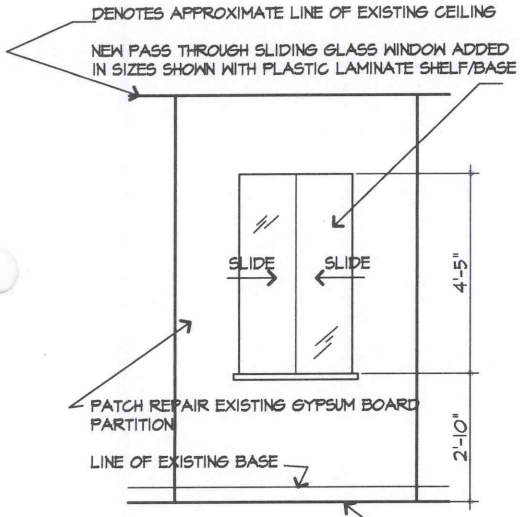
GENERAL NOTES

LEGEND

EXISTING PARTITION/CONSTRUCTION TO REMAIN

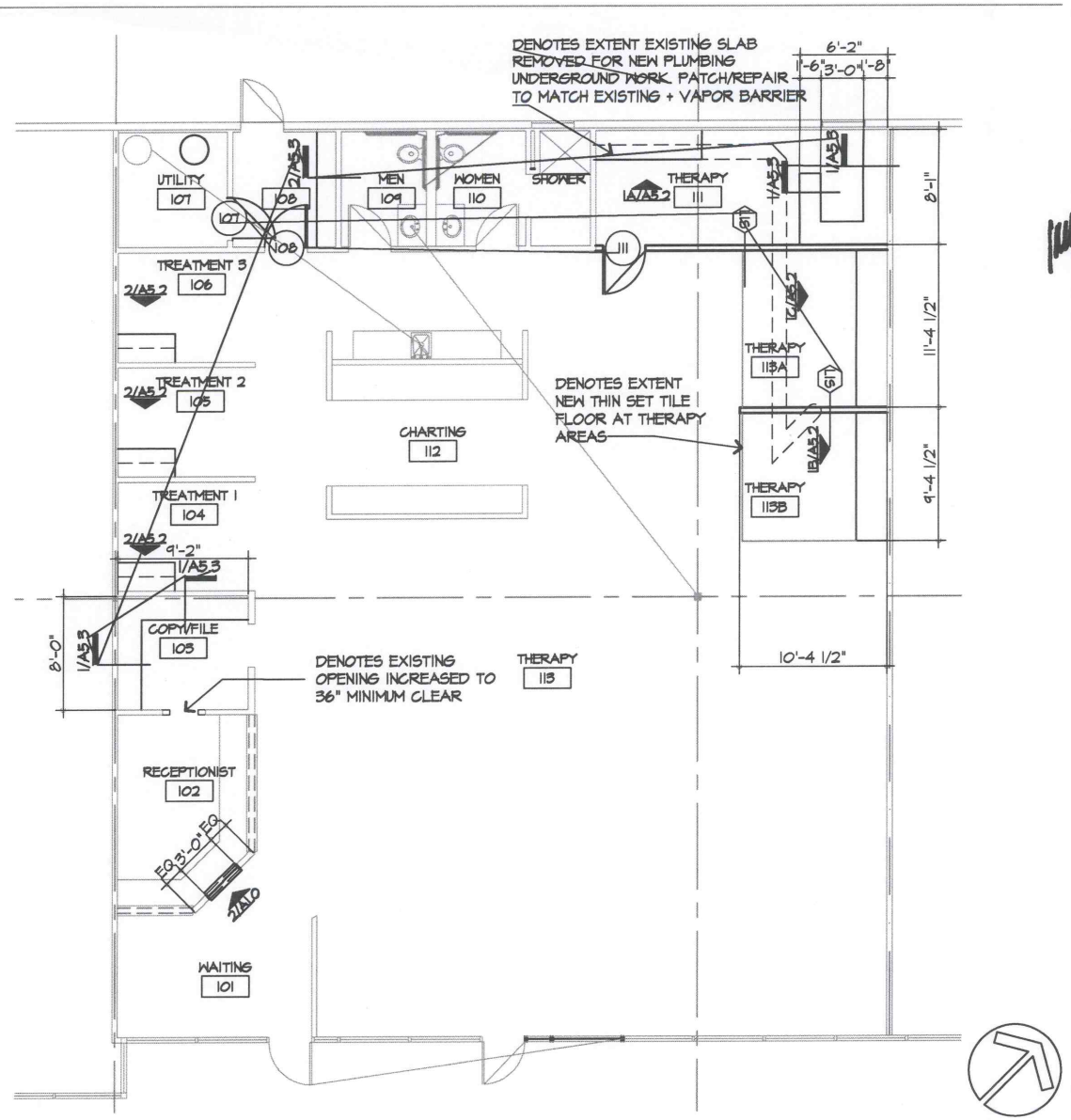
EXISTING PARTITION/CONSTRUCTION REMOVED

NEW PARTITION/CONSTRUCTION



3/8" = 1'-0"

PARTIAL ELEVATION 2



FLOOR PLAN 1/8"=1'-0" 1

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CHRISTUS ST JOHN
NEW PHYSICAL THERAPY FACILITY
2800 MARINA BAY DRIVE SUITE P
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DRAWING TITLE

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A1.0

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Standard Finishes: Global Safety Source, Inc.

Floors:

CER TILE - Thin set Ceramic Tile at designated areas
VCB - Vinyl coved base - 4"

Walls:

PT1: (Painted gypsum board) - Sherwin Williams Healthspec series, eggshell, latex based
PT2: (Painted door frames) - Sherwin Williams Healthspec series, semi-gloss, oil based
PT3: (Painted wood doors) - Sherwin Williams Healthspec series, semi-gloss, oil based
PT3: (Painted Gypsum Board) - Sherwin Williams Healthspec series, semi-gloss, epoxy based

Ceiling:

ACBD: 2' x 4' x 5/8" acoustic board Armstrong Sanserra or USG Radar or equal

CODE TO FINISHES

3

ROOM NUMBER	CEILING HEIGHT	CEILING	FLOOR	BASE	WALLS TYP	WALLS SPEC	LOCATE NSEW	WALL BORDR	NOTES
General	As Noted	ACBD			PTI		ALL		
111	As Noted	ACBD			PTI		ALL		
116Therapy	As Noted	ACBD			PTI		ALL		

FINISH SCHEDULE

2

A. All exposed screw heads shall match adjacent surfaces unless noted elsewhere. All new and existing grilles, registers, access doors, speakers, cover plates, fire equipment cabinets, and all other applied devices require job finish and shall match color of adjacent surface unless otherwise noted.
B. See "Finish Codes" for description of abbreviated references indicated on the Interior Finishes Plan.
C. All furrdowns, light coves and gypsum board ceiling are to be painted, unless noted otherwise.
D. Items requiring finish selections that do not appear on the finish plans shall be selected by the Architect from shop drawing or sample submittals.
E. All floor material changes are to occur at the centerline of closed door or a center of center of framed openings. At transitions where there is no door, install as indicated on the Finish Plan.
F. All plastic laminate countertops, splashes, and all millwork are to be PLAM-1.
G. Prepare walls prior to receiving wall covering if specified.
H. Provide rubber reducer strip at all VCT to Carpet transitions.
I. VCT to be quarter turned.
J. All finishes to be sent to the Architect for approval prior to installation.
K. Where remodeling impacts adjacent space, patch, repair, repaint/refinish to match existing disturbed surface.

4

GENERAL NOTES TO FINISHES

1

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26 MAY 2008

CHRISTUS ST JOHN
NEW PHYSICAL THERAPY FACILITY
2800 MARINA BAY DRIVE SUITE F
LEAGUE CITY, TEXAS

DRAWING TITLE

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26 MAY 2008 DATE
SCALE
DRAWING NUMBER

A1.2

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NOTE: SHADING DENOTES EXTENT NEW SUSPENDED ACOUSTIC BOARD CEILING + GRID TO MATCH EXISITNG. MATCH EXISTING CEILING HEIGHTS UNLESS NOTED OTHERWISE

REFLECTED CEILING PLAN

1/8"=1'-0"

1

WEBB ARCHITECTS
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26 MAY 2009

CHRISTUS ST JOHN
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LEAGUE CITY, TEXAS

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DATE
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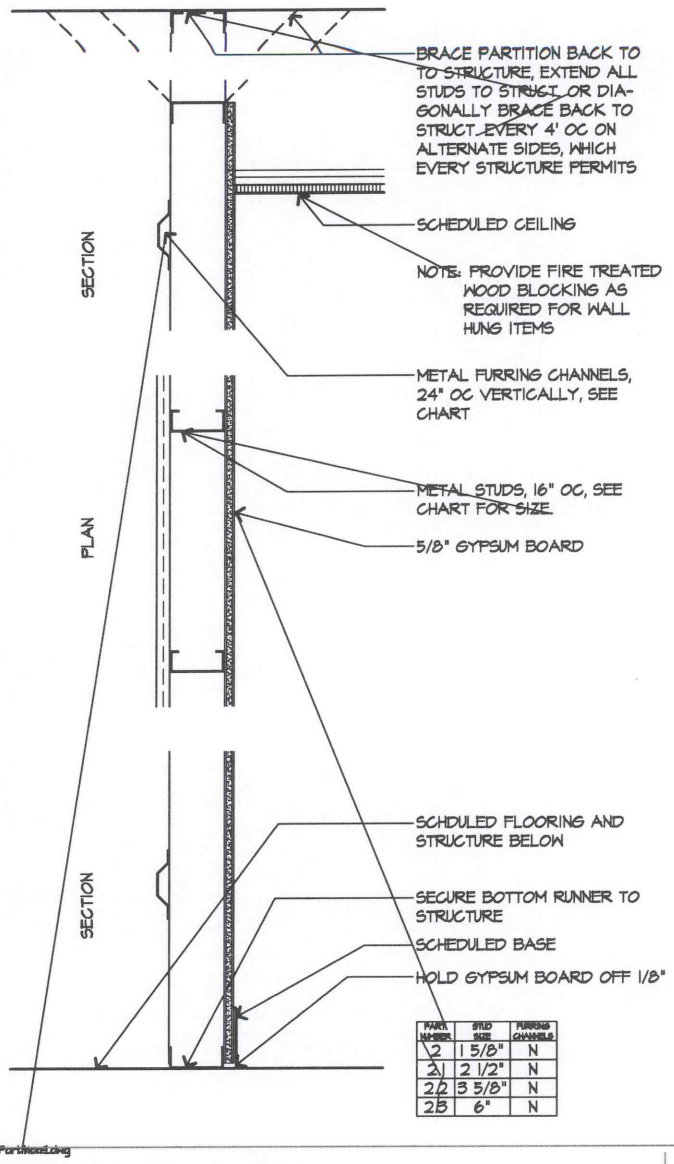


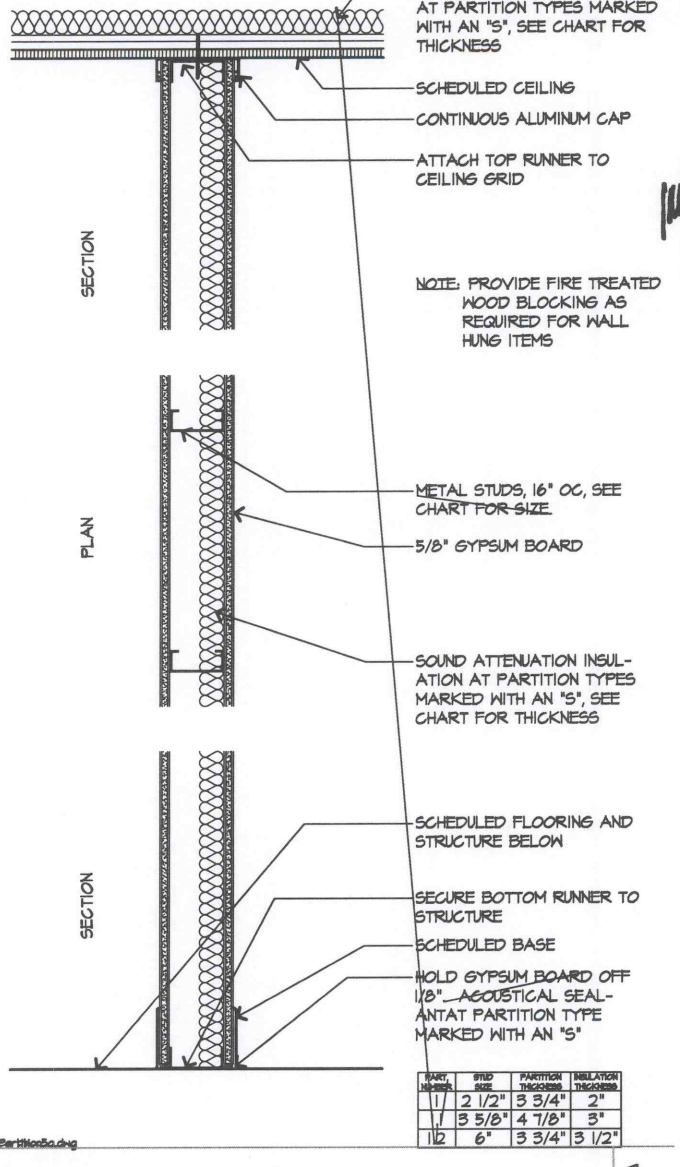
PART. NUMBER	STUD SIZE	FURRING CHANNELS
2	1 5/8"	N
2	2 1/2"	N
2	3 5/8"	N
2B	6"	N

PartWallex2a.dwg

PARTITION TYPE 2

N.T.S.

2



PART. NUMBER	STUD SIZE	PARTITION THICKNESS	INSULATION THICKNESS
1	2 1/2"	3 3/4"	2"
1	3 5/8"	4 7/8"	3"
1B2	6"	3 3/4"	3 1/2"

PartWallex3a.dwg

PARTITION TYPE 1

N.T.S.

1

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CHRISTUS ST JOHN
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2500 MARINA BAY DRIVE STE 2
LEAGUE CITY, TEXAS

DRAWING TITLE

08.020 PROJECT NUMBER
DRAWING FILE NAME
26 MAY 2009 DATE
SCALE
DRAWING NUMBER

A4.0

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MILLWORK NOTES

1. All shelving is to comply with AWI Section 600 custom grade. All case work is to comply with AWI Section 400 premium grade.
2. Shop drawings are to be submitted for each item (1 sepia and 2 prints).
3. Submit samples 12" square for each plastic laminate and special finish.
4. All dimensions are to be field verified.
5. Dimensions between standards for shelving not to exceed 2'0" O.C.
6. Dimensions from end of shelf to standard not to exceed 6".
7. All exposed surfaces of millwork to be plastic laminate clad unless noted otherwise. See Finish Plan for colors.
8. All semi-exposed surfaces of millwork to be white melamine unless noted otherwise.
9. Provide blocking at all location where millwork or shelving is to hang.

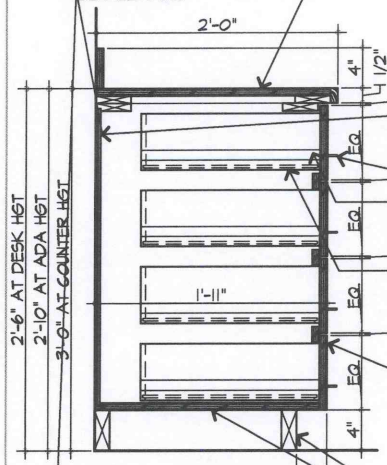
MILLWORK HARDWARE SCHEDULE

ITEM	MANUFACTURER & NO.	FINISH
Hinge	Stanley #1511 Series for Flush Overlay	
Pull	Stanley 4485-1/2	US28
Catch	Stanley No. 41	
Drawer Slide	Grant 555	
Wall Standard	Knape & Vogt #87ANO	Anochrome
Wall Shelf Bracket	Knape & Vogt #187 ANO 14"	Anochrome
Staple Shelf Support	Hafele NO. 282.04.135	Nickel Plated
Coat Rod Flange	Knape & Vogt #754CHR	Polished Chrome
Coat Rod Tubing	Knape & Vogt #660 SS	Stainless Steel

MILLWORK NOTES

3

NOTE: ALL EXPOSED EDGES TO HAVE PLASTIC LAMINATE, INTERIOR SURFACES MAY BE MELAMINE



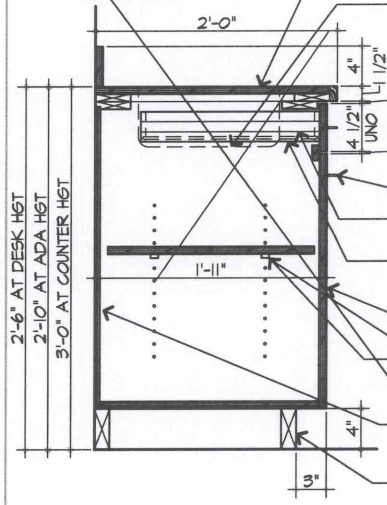
3/4" PLYWOOD TOP/SPLASH
1/4" PLYWOOD BACK PANEL
SCHEDULED PULL
SCHEDULED DRAWER SLIDE
DRAWER 1/2" HARDWOOD SIDES W/ 1/4" PLYWOOD BOTTOM
3/4" PLYWOOD DRAWER FRONT, EDGE BANDED
SCHEDULED BASE
3/4" PLYWOOD BASE, EDGE BANDED

NOTE: FOR TOTAL NUMBER OF DRAWERS SEE REFERENCED ELEVATIONS

Base6dtail2.dwg

BASE CABINET SECTION NOT TO SCALE 2

NOTE: ALL EXPOSED EDGES TO HAVE PLASTIC LAMINATE, INTERIOR SURFACES MAY BE MELAMINE



3/4" PLYWOOD TOP/SPLASH
SINK WHERE NOTED ON PLANS PROVIDE FALSE DRAWER FRONT IN LIEU OF DRAWER
SCHEDULED PULL
SCHEDULED DRAWER SLIDE
DRAWER 1/2" HARDWOOD SIDES W/ 1/4" PLYWOOD BOTTOM
3/4" PLYWOOD DOOR, EDGE BANDED
"EURO" STYLE SIDE MOUNTED ADJUSTABLE SHELF PINS ON 32MM O.C. HOLES
1/4" PLYWOOD BACK PANEL
SCHEDULED BASE

Base6dtail1.dwg

BASE CABINET SECTION NOT TO SCALE 1

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REVISION
ISSUED
26 MAY 2009

CHRISTUS ST JOHN
NEW PHYSICAL THERAPY FACILITY
2500 MARINA BAY DRIVE SUITE P
LEAGUE CITY, TEXAS

DRAWING TITLE

08.020 PROJECT NUMBER
DRAWING FILE NAME
26 MAY 2009 DATE
SCALE
DRAWING NUMBER

A5.0

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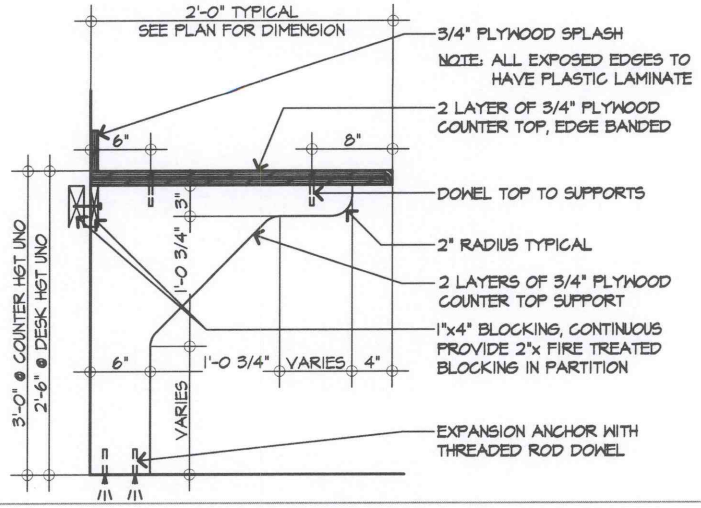
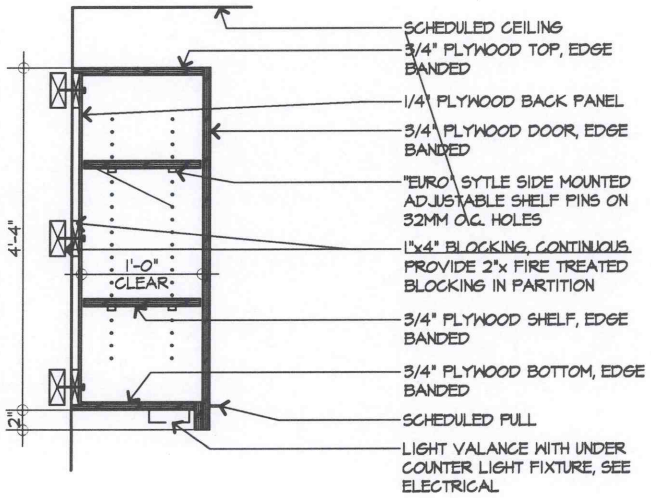


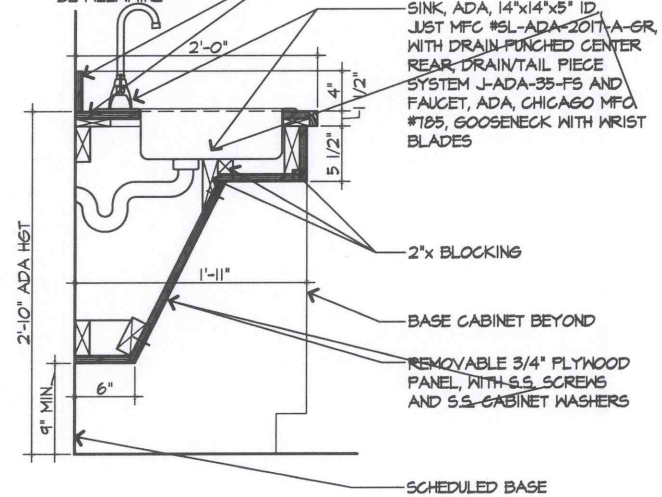
COUNTER TOP & SUPPORT N.T.S. 3

NOTE: ALL EXPOSED EDGES TO HAVE PLASTIC LAMINATE, INTERIOR SURFACES MAY BE MELAMINE



WALL CABINET SECTION NOT TO SCALE 2

NOTE: ALL EXPOSED EDGES TO HAVE PLASTIC LAMINATE, INTERIOR SURFACES MAY BE MELAMINE



Base6dtoal1.dwg

BASE CABINET SECTION NOT TO SCALE 1

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26 MAY 2008

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NEW PHYSICAL THERAPY FACILITY
2800 MARINA BAY DRIVE SUITE P
LEAGUE CITY, TEXAS

DRAWING TITLE

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26 MAY 2008 DATE
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DRAWING NUMBER

A5.1

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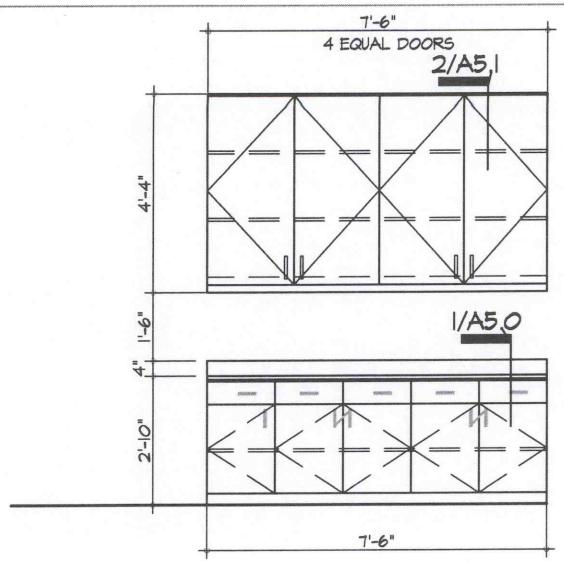
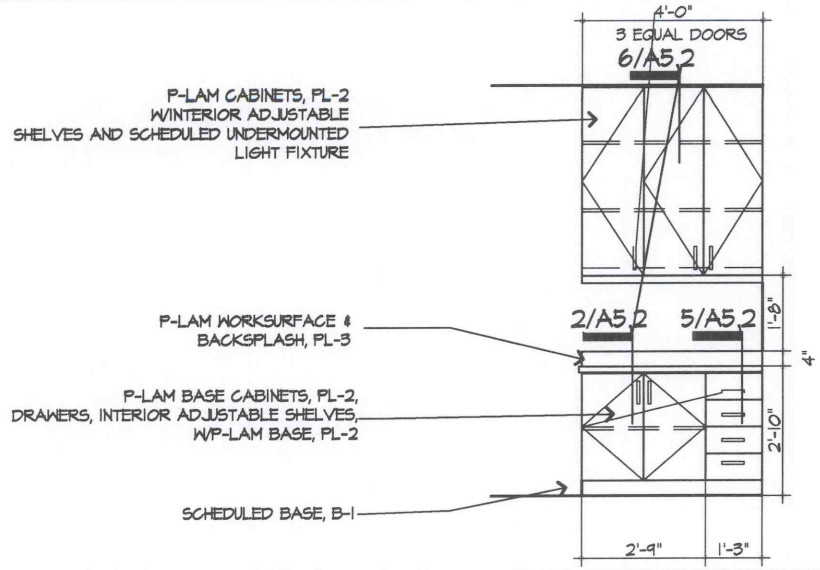
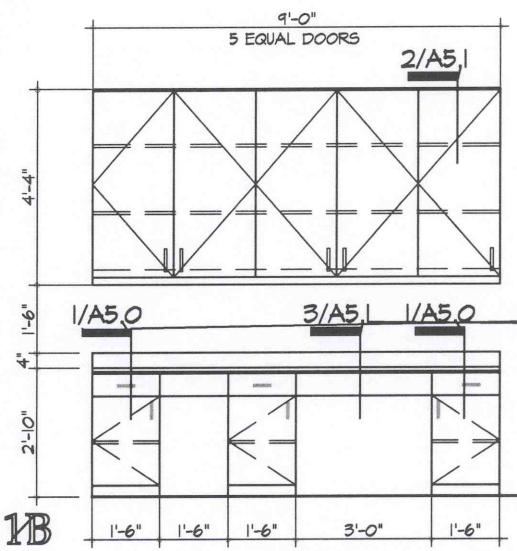


1A



TREATMENT MILLWORK 3/8" = 1'-0" 2



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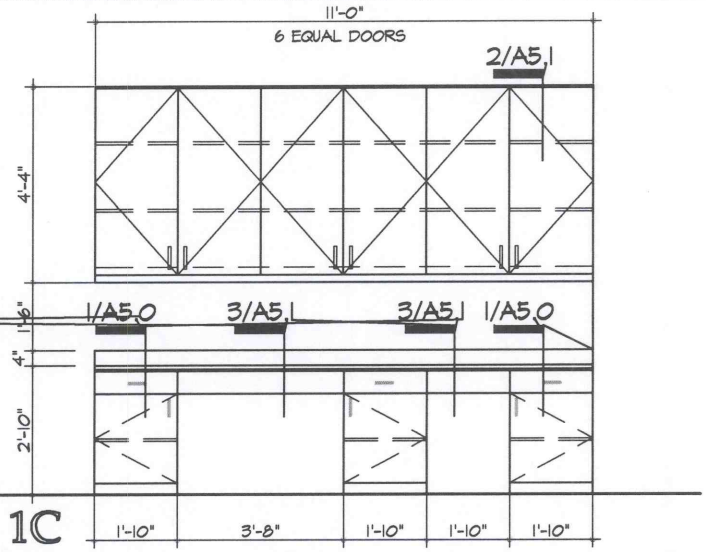

1C

THERAPY MILLWORK 3/8" = 1'-0" 1

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	26 MAY 2008

CHRISTUS ST JOHN
NEW PHYSICAL THERAPY FACILITY
2500 MARINA BAY DRIVE SUITE P
LEAGUE CITY, TEXAS

DRAWING TITLE

08.020 PROJECT NUMBER
DRAWING FILE NAME
26 MAY 2008 DATE
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DRAWING NUMBER
A5.2

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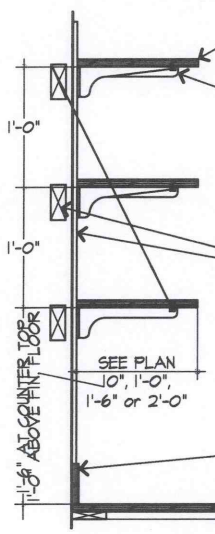
NOTE: ALL EXPOSED EDGES TO HAVE PLASTIC LAMINATE



3/4" PLYWOOD SHELVES W/ PLAM, EDGE BANDED, SEE PLAN FOR DEPTH, SHELVES NOT TO EXCEED 36" WIDE. PROVIDE 3 SHELVES ABOVE 36" AND 34" TALL COUNTERS, 4 SHELVES ABOVE 30" TALL COUNTERS AND 7 SHELVES AT FULL HEIGHT INSTALLATION.

HEAVY DUTY SHELF BRACKETS, KV 1868 FOR 10" DEEP SHELVES, KV 18610 FOR 12" DEEP SHELVES, KV 18716 FOR 18" DEEP SHELVES, KV 18722 FOR 24" DEEP SHELVES, PROVIDE TWO BRACKETS AND TWO KV 154 SHELF FASTENERS PER SHELF.

HEAVY DUTY WALL STANDARDS, KV 87, FASTEN STANDARD TO CENTER OF STUDS, IF NOT POSSIBLE PROVIDE 2"x4" FIRE TREATED BLOCKING AS REQUIRED TO SECURE STANDARD TO WALL AT ALL RECOMMENDED ATTACHMENT POINTS, 32" CENTERS MAX.

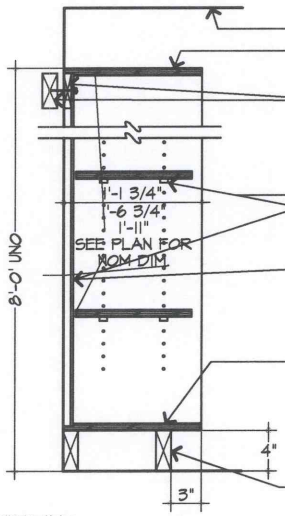
COUNTER TOP BACK SPLASH OR SCHEDULED BASE

COUNTER TOP OR SCHEDULED FINISHED FLOOR

WallShelves1.dwg

WALL STANDARDS/SHELVES N.T.S.

NOTE: ALL EXPOSED EDGES TO HAVE PLASTIC LAMINATE, INTERIOR SURFACES MAY BE MELAMINE TO MATCH



SCHEDULED CEILING

3/4" PLYWOOD TOP, EDGE BANDED

1"x4" BLOCKING, CONTINUOUS. PROVIDE 2"x FIRE TREATED BLOCKING IN PARTITION

"EURO" STYLE SIDE MOUNTED ADJUSTABLE SHELF PINS ON 32MM O.C. HOLES

1/4" PLYWOOD BACK PANEL

3/4" PLYWOOD BOTTOM, EDGE BANDED

SCHEDULED BASE

TallCabinet1.dwg

2 WALL CABINET SECTION NOT TO SCALE 1

WEBB ARCHITECTS
ARCHITECTURE
PLANNING
URBAN DESIGN
2501 KIRBY DRIVE SUITE 916
HOUSTON TEXAS 77098
713.522.5944

REGISTERED ARCHITECT JOHN DOUGLAS WEBB 5214 STATE OF TEXAS
05 JUN 2008

JacobWhite CONSTRUCTION COMPANY
PO Box 890688
Houston, Texas 77289
281.286.6666

REVISION	ISSUED
	26 MAY 2008

CHRISTUS ST JOHN
NEW PHYSICAL THERAPY FACILITY
2500 MARINA BAY DRIVE SUITE P
LEAGUE CITY, TEXAS

DRAWING TITLE

08.020 PROJECT NUMBER
DRAWING FILE NAME
26 MAY 2008 DATE
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PAPER TOWEL DISPENSER, SURFACE MOUNTED - BOBRICK B-262
(ONE PER WALL MOUNTED LAVATORY OR SINK)

SOAP DISPENSER, SURFACE MOUNTED - BOBRICK B-5050
(ONE PER WALL MOUNTED LAVATORY OR SINK)

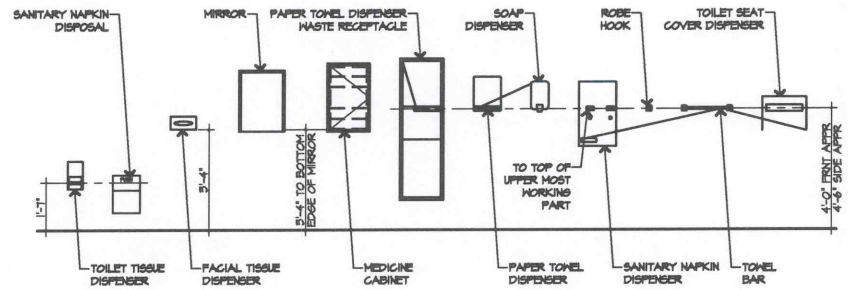
MIRROR, 18"x36", SURFACE MOUNTED - BOBRICK B-290 1836
(ONE PER WALL MOUNTED LAVATORY IN TOILET ROOMS)

SANITARY NAPKIN DISPOSAL, SURFACE MOUNTED - BOBRICK B-254
(1 PER TOILET)

GRAB BARS, 36" & 42" LENGTHS, FOR WATER CLOSETS - BOBRICK B-6806 SERIES
(1 SET PER TOILET)

TOILET TISSUE DISPENSER, SURFACE MOUNTED - BOBRICK B-2740
(1 PER TOILET)

TOILET ACCESSORIES 2

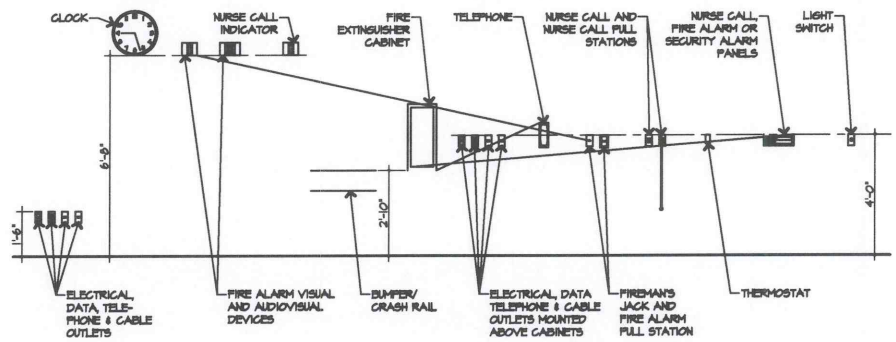


NOTE: ACCESSORIES ARE NOTED FOR LOCATION AND HEIGHT, SEE ACCESSORIES LEGEND FOR TYPE. NOT ALL ACCESSORIES MAY BE REQUIRED.

ToiletCloseg

ACCESSIBLE ACCESSORY MOUNTING HEIGHTS

N.T.S.



NOTE: ACCESSORIES ARE NOTED FOR LOCATION AND HEIGHT, NOT ALL ACCESSORIES MAY BE REQUIRED.

ToiletCloseg

ACCESSIBLE ACCESSORY MOUNTING HEIGHTS

N.T.S.

ACCESSORY MOUNTING HEIGHTS 1

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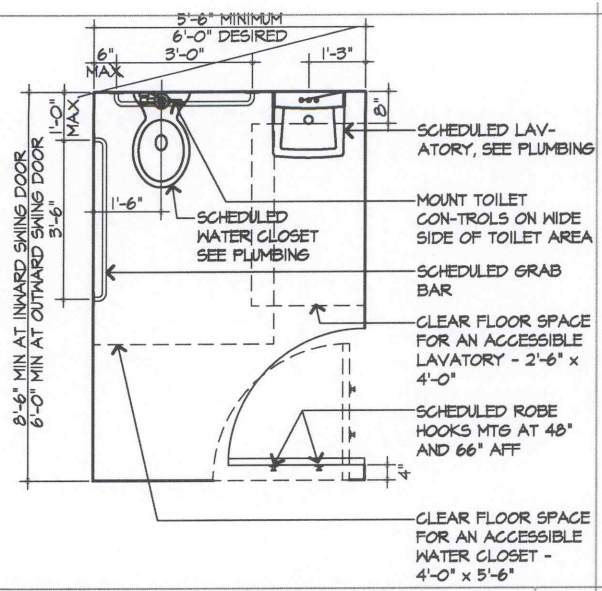
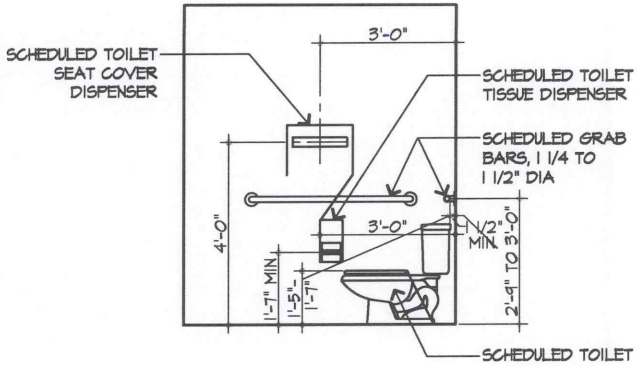


Toilet3.dwg

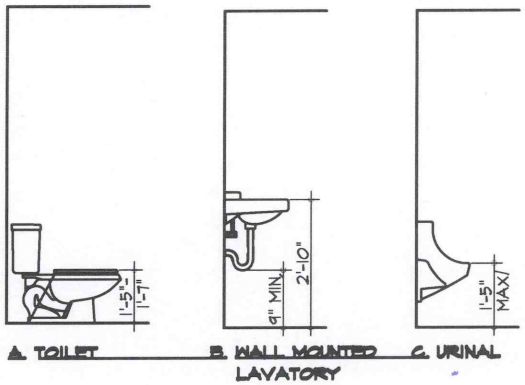
ACCESS SINGLE USER TOILET N.T.S. 4



NOTE: ACCESORIES ARE NOTED FOR LOCATION AND HEIGHT, SEE ACCESSORIES LEGEND FOR TYPE. NOT ALL ACCESSORIES MAY BE REQUIRED.

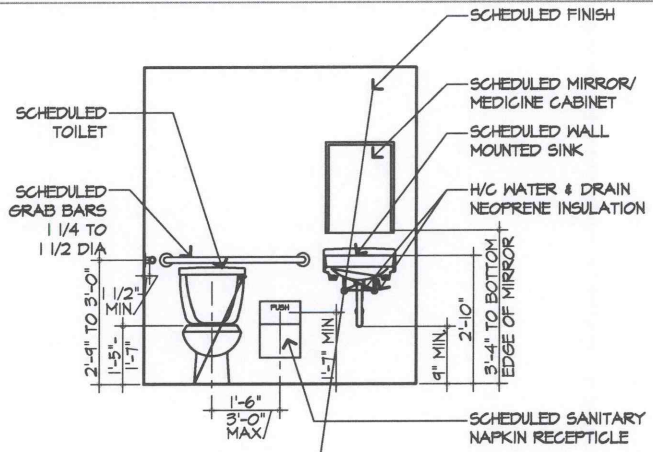
Toilet3.dwg

ACCESS SINGLE USER TOILET N.T.S. 2



Toilet6.dwg

ACCESS MOUNTING HEIGHTS N.T.S. 3



NOTE: ACCESORIES ARE NOTED FOR LOCATION AND HEIGHT, SEE ACCESSORIES LEGEND FOR TYPE. NOT ALL ACCESSORIES MAY BE REQUIRED.

Toilet6.dwg

ACCESS SINGLE USER TOILET N.T.S. 1

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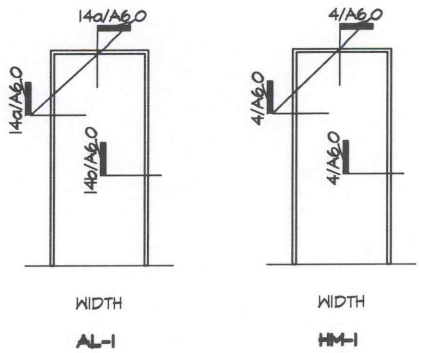
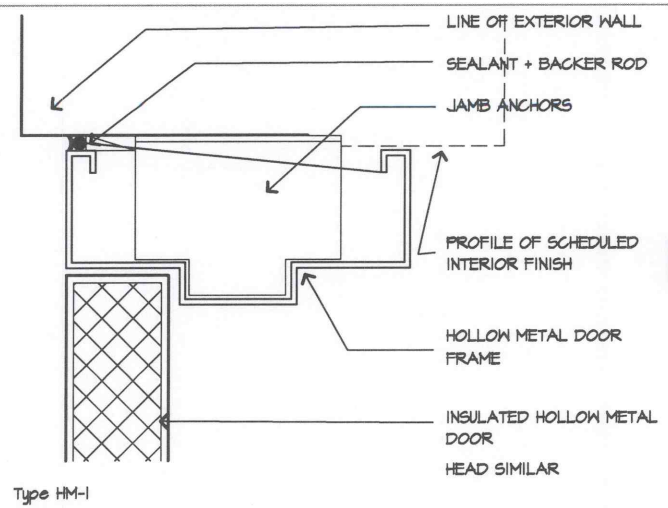
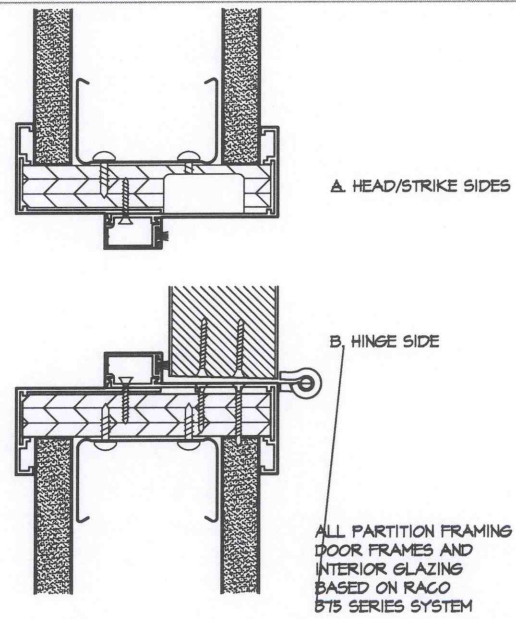


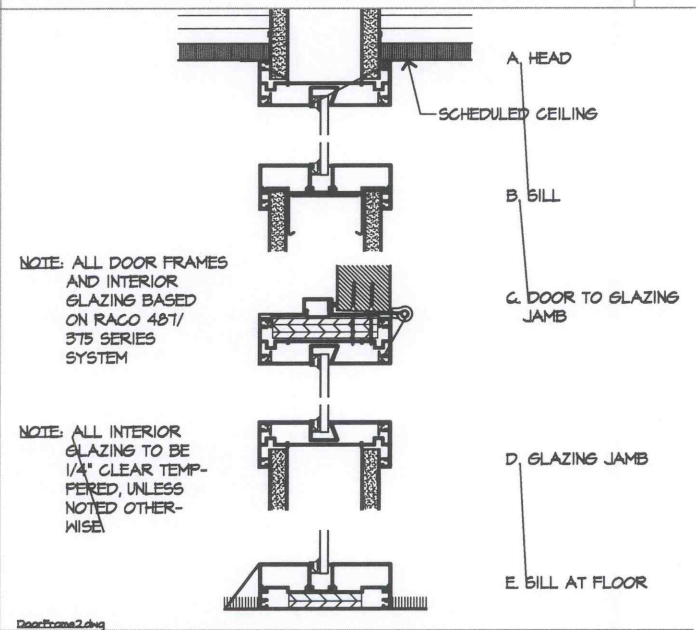
FRAME TYPES 4



HOLLOW METAL DOOR JAMB 2



ALUMINUM FRAME DETAILS N.T.S. 3



ALUMINUM FRAME DETAILS N.T.S. 1

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05 JAN 2009

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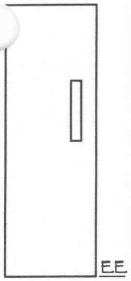
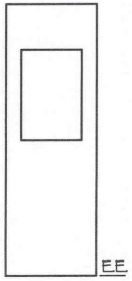
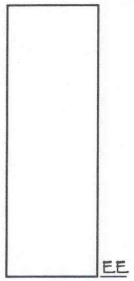


WIDTH
TYPE B
VISION PANEL DOOR
SOLID CORE WOOD
DOOR PAINTED



WIDTH
TYPE C
HOLLOW METAL
INSULATED PAINTED
DOOR + FRAME
WITH INSULATED
24 X 36 VIEWLITE



WIDTH
TYPE A
FLUSH DOOR
SOLID CORE WOOD
PAINTED

DOOR TYPES 4

SET 1
1 LEVER LOCKSET ENTRY/OFFICE FUNCTION
1 1/2 PR BB HINGES
1 FLOOR/WALL STOP

SET 2
1 LEVER LATCH SET PASSAGE FUNCTION
1 1/2 PR BB HINGES
1 FLOOR/WALL STOP

SET 3
1 LEVER PRIVACY SET FUNCTION
1 1/2 PR BB HINGES
1 FLOOR/WALL STOP

SET 4
1 LEVER LOCK SET STOREROOM FUNCTION
1 1/2 PR BB HINGES
1 FLOOR/WALL STOP

SET 5
NEW CYLINDER AT EXISTING STOREFRONT DOORS

ALL LOCK SETS TO HAVE KEYWAY DI

HARDWARE SETS 3

A. Function designations based on Schlage Architectural Hardware Standards Schlage S Series Neptune Style Lever Finish #619
B. Submit Door, Frame and Hardware shop drawings prior to procurement
C. Exterior door frames to be hollow metal unless noted otherwise.
D. All doors are 1 3/4" thick.
E. Submit sample for wood veneer door, if requested.
E. All frames to be Raco Series 375 standard clear aluminum "Prestige" Series or equal.

GENERAL NOTES TO DOORS 2

DOOR NUMBER	FRAME TYPE	DOOR TYPE	DOOR SIZE	HD WR	NOTES
107	AL-1	A	3'-0"x7'-0" (nominal)	4	
108	AL-1	A	3'-0"x7'-0" (nominal)	2	
111	AL-1	A	3'-0"x7'-0" (nominal)	2	

1. Glaze sidelite opening with clear tempered glass.
2. Glaze adjacent vision panels with tempered glass (match building glazing) per code.

DOOR SCHEDULE 1

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CHRISTUS ST JOHN
NEW PHYSICAL THERAPY FACILITY
2800 MARINA BAY DRIVE SUITE P
LEAGUE CITY, TEXAS

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26 MAY 2009 DATE
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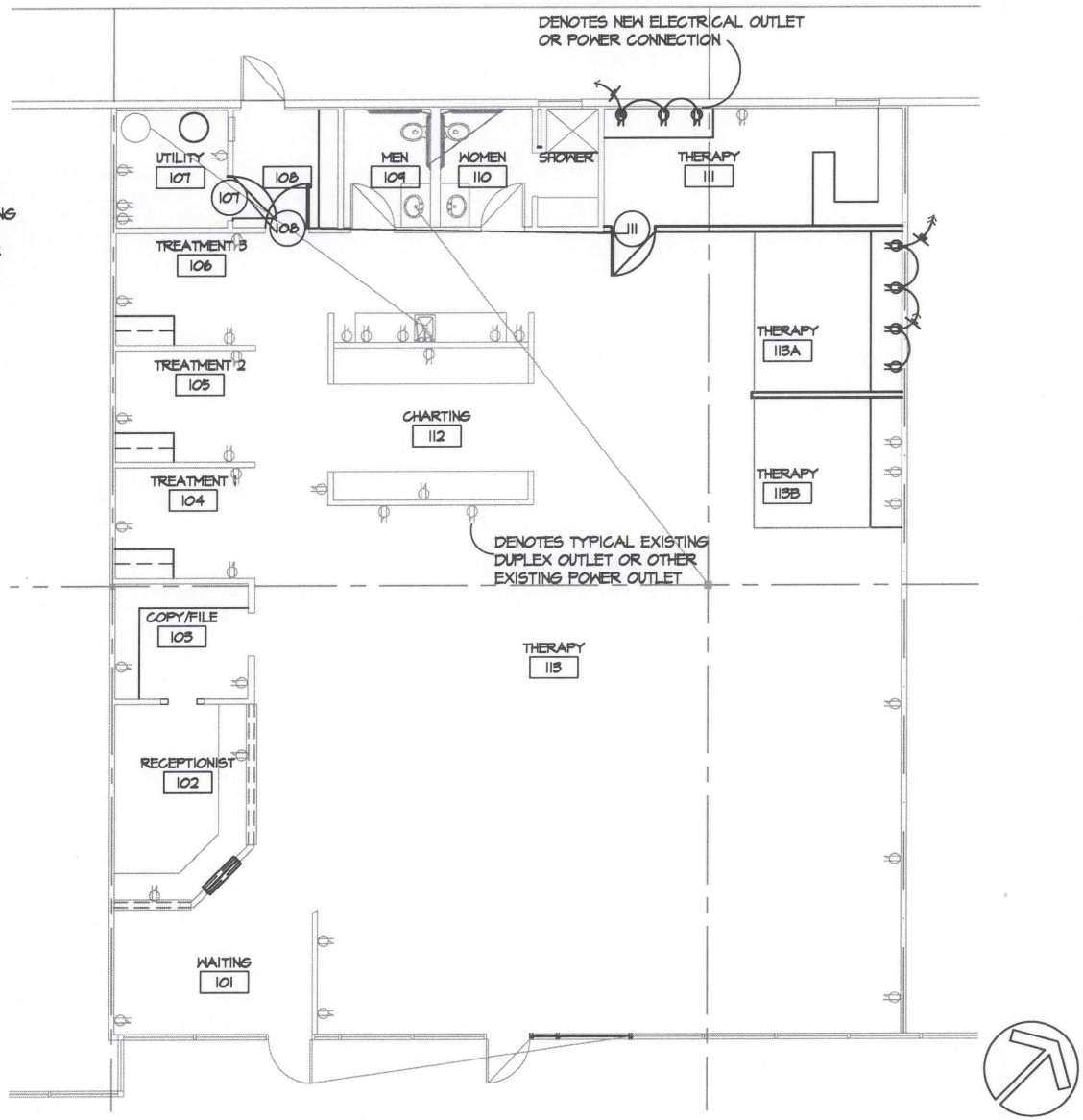
SPECIAL ELECTRICAL POWER NOTES:

1. REFER ATTACHED RECORD DRAWINGS OF EXISTING LEASE POWER + LIGHTING SYSTEMS FOR USE IN ADDING OR REMOVING OR RELOCATING EXISTING FIXTURES, CIRCUITS, ETC.
2. COORDINATE WITH TENANT NEW EQUIPMENT FOR PROPER LOAD BALANCING ON EXISTING POWER PANEL.
3. REFER SHEET E3.0 FOR ELECTRICAL GENERAL NOTES + REQUIREMENTS.



ELECTRICAL POWER PLAN

1/8"=1'-0"

1

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NEW PHYSICAL THERAPY FACILITY

2800 MARINA BAY DRIVE SUITE P
LEAGUE CITY, TEXAS

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08.020 PROJECT NUMBER

DRAWING FILE NAME

26 MAY 2009 DATE

SCALE

DRAWING NUMBER

E1.0

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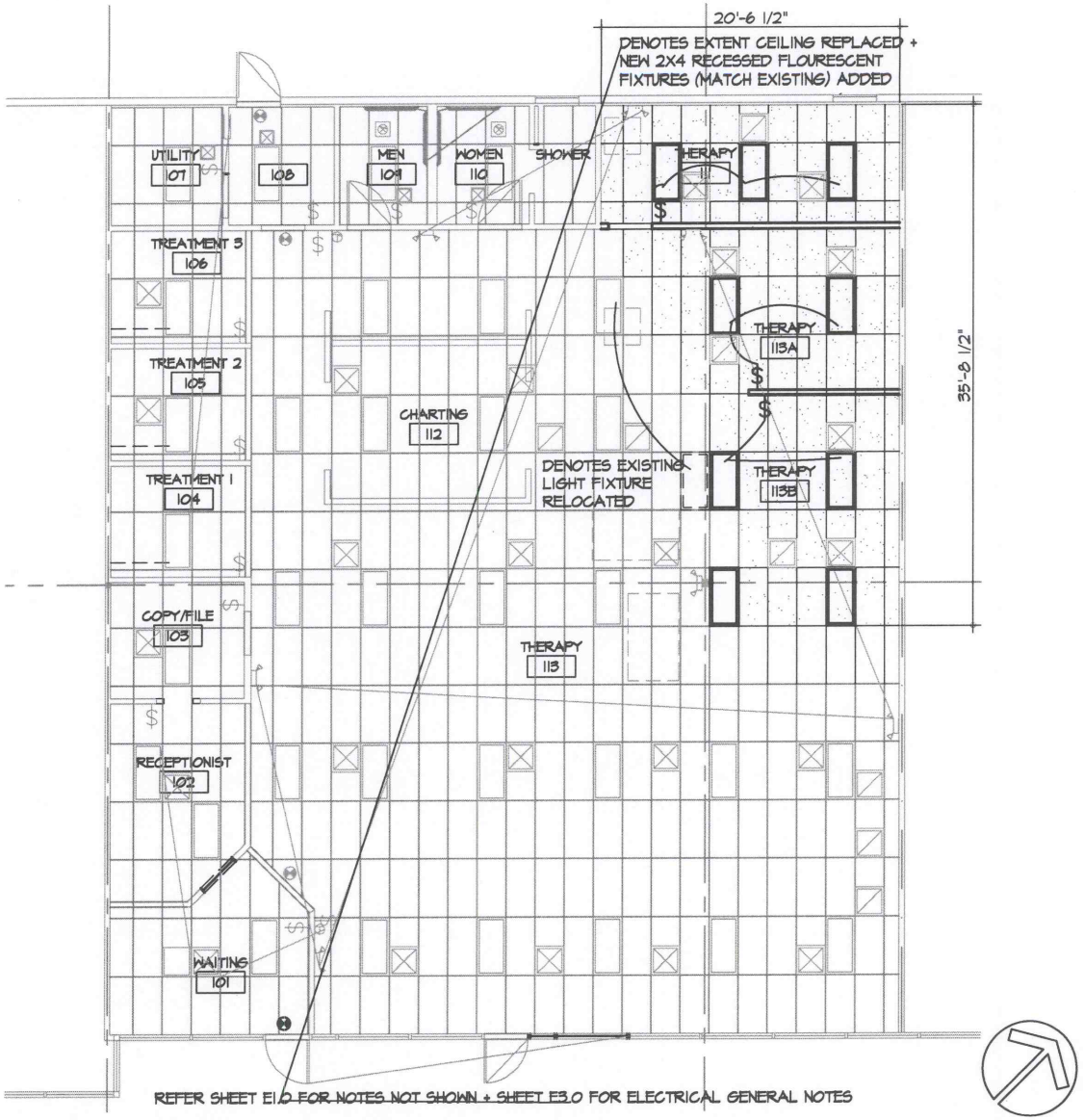

ELECTRICAL LIGHTING PLAN

1/8"=1'-0"

1

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2800 MARINA BAY DRIVE SUITE P
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ELECTRICAL NOTES

1. The electrical contractor shall execute the Work in strict accordance with local, state and national laws, regulations and ordinances and all applicable codes.
2. The electrical contractor shall be responsible for obtaining all permits for their portion of the Work and payment of the fees associated therewith.
3. The electrical contractor shall provide a complete design/build system based on the drawings and other equipment provided by the Tenant and/or Landlord. Provide the Tenant and the Landlord with one year written warranty on the complete installation.
4. All work shall be done by competent, experienced electricians in a neat, workmanlike manner.
5. All materials and equipment used in performance of the Work shall be new and U.L. approved.
6. All branch circuit wiring shall be no. 12 minimum wire size, type THW. All service and feeder cable shall be type THW. All wire shall be soft drawn, annealed, copper wire having a conductivity of not less than 98 percent of that of pure copper. All wire no. 8 and larger will be stranded. No wire shall be smaller than no. 12.
7. Electrical contractor shall provide service conduit from the Landlord's wiring gutter to the outside of Tenant's space. Furnish and install disconnect, feeders and meter. Paint conduit to match color of the exterior wall. Service shall be [120/240 volts, 3Φ, 60 hertz, 4 wire] [277/480 volts, 3Φ, 60 hertz, 4 wire].
8. Electrical breaker panels shall have a type-written catalog of equipment per circuit.
9. All electrical equipment, devices and systems shall be grounded in strict compliance with N.E.C. and all relevant local and state codes.
10. All circuits shall be switched from the breaker panel unless otherwise indicated on the drawings.
11. Provide 3/4" conduit for telephone service stubbed up through the ceiling at locations indicated on the drawings.
12. Night lights: wire fixtures as shown and indicated on drawings as "NL" on separate circuit to panel as shown.
13. Toilets: unless noted otherwise, ceiling mounted combination 75 watt incandescent lamp with integral ventilation fan per local code requirements. Switched inside toilet room. Nutone model #9415-F or approved equal.
14. All lighting panelboards shall be bolt-on circuit breaker type for 120/240 or 277/480 volt panels. Panelboards shall be dead front, load center with main breaker.
15. Provide and install emergency lighting fixtures where and if required by code.
16. Exit signs shall be provided at all required means of egress. Exit signs shall be an approved, illuminated type with supplemental directional signs where mandated by code.
17. Provide single circuit receptacle for connection of equipment furnished by tenant, if and as indicated on the drawings.
18. Thermostat: electrical contractor shall install thermostat at location(s) shown on drawings and make all electrical connections to operate mechanical unit(s) from the same thermostat in accordance with manufacturer recommendations.
19. Provide one 20 amp circuit, wiring and junction box for Tenant's exterior signage. Signs are installed by Tenant. Sign circuit exists.
20. All penetrations that are made through the exterior walls for conduits shall be weather sealed and wall finish restored.
21. All roof penetrations shall be accomplished by the Landlord's roofing contractor at this contractor's expense.

SPECIAL NOTES:

Electrical system and service are existing. Refer plan for major changes and new and/or relocated/deleted equipment. Subcontractor to insure balance of phases to reflect all changes.

ELECTRICAL LEGEND

- 110 Volt, Duplex receptacle
- wall mounted telephone outlet
- 110 volt, ground fault duplex
- 110 volt, dedicated duplex receptacle
- 110 volt, dedicated duplex receptacle with isolated ground
- 110 volt, fourplex receptacle
- wall mounted, single pole switch
- wall mounted, battery pack, exit light
- ceiling mounted, battery pack, exit light
- 2' x 4' lay-in fluorescent, 4 lamp, acrylic lensed fixture
- 2 lamp, 4' or 8' fluorescent strip fixture; mounted per drawings
- wall mounted, incandescent fixture

ELECTRICAL NOTES 1/8"=1'-0" 1

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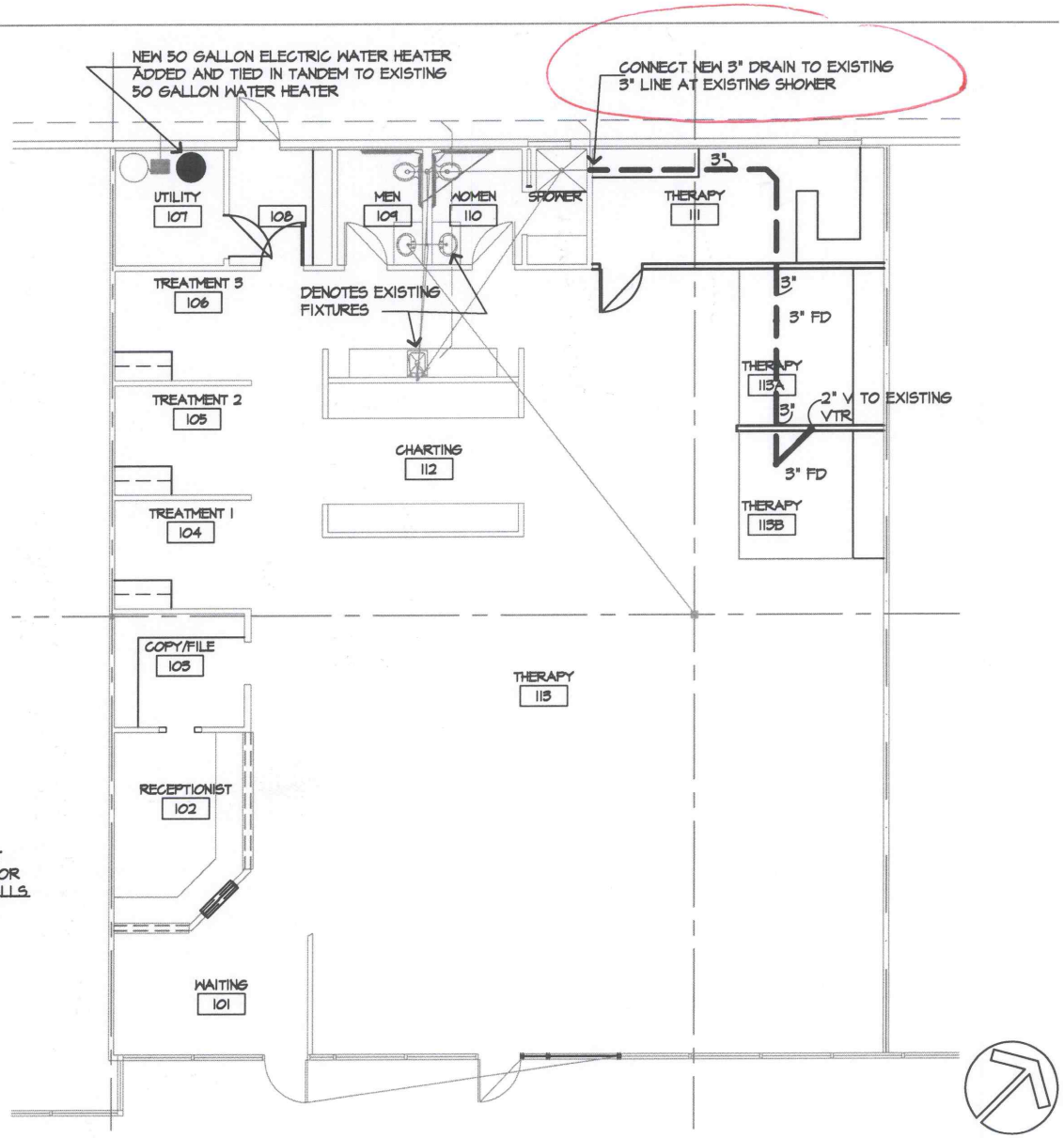

WCO WALL CLEANOUT
JAY-R SMITH 4550-S, CAST IRON FERRULE WITH LEAD SEAL, CAST IRON PLUG, FIGURE 4760-08X08 SQUARE FRAME WITH HINGED DOOR LOCK FOR PAINTED WALL OR FIGURE 4762-08X08 FOR TILED WALLS.

TPI TRAP PRIMER
WATTS MODEL A-200

WHI WATER HEATER - 50 GALLON FLOOR MOUNTED
STATE OR EQUAL, 240V, 1PH, QUICK RECOVERY

PLUMBING FIXTURE SCHEDULE

FLOOR PLAN

1/8"=1'-0"

1

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DRAWING FILE NAME

26 MAY 2009 DATE

SCALE

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BALL VALVES

BALL VALVES SAHLL BE WATTS MODEL B-6000 BRONZE, SHALL HAVE BOTTOM LOADED PRESSURE RETAINING BLOW-OUT PROOF STEMS, ADJUSTIBLE PARKING NUT, GLASS REINFORCED DURAFILL OR VIRGIN PIPE SEATS AND BALL. VALVE SHALL BE PRESSURE RATED AT 600 PSI WOG 1/4" TO 2' AND 400 PSI WOG 2 1/2" AND 3". VALVES SHALL BE MANUFACTURED AND ASSEMBLED IN THE USA. STAINLESS STEEL HANDLES SHALL BE USED FOR EXTERIOR SERVICE.

PIPE HANGERS AND SUPPORTS

ALL PIPE SHALL BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE IN A NEAT AND WORKMANLIKE MANNER AND WHEREEVER POSSIBLE TRAPEZE TYPE HANGERS. VERTICAL RISERS SHALL BE SUPPORTED AT EACH FLOOR LINE WITH STEEL PIPE CLAMPS. SPACE OF PIPE SUPPORTS SHALL BE IN ACCORDANCE WITH NFPA 13.

ALL PIPING SAHLL BE PITCHED TO DRAIN IN ACCORDANCE WITH NFPA 13. PROVIDE VALVES WITH HOSE CONNECTIONS AT ALL SYSTEM DRAIN POINTS.

IF IT COMPLIES WITH THESE SPECIFICATIONS, HANGERS AND SUPPORTS MANUFACTURED BY ONE OF THE FOLLOWING MANUFACTURERS WILL BE ACCEPTABLE: FEE AND MASON, GRINNELL, ELCEN OR APPROVED EQUAL.

SCOPE - PLUMBING FIXTURES AND TRIM

PRIOR TO INSTALL OF NEW PLUMBING FIXTURES, THE CONTRACTOR SHALL ROD WASTE LINES AND ENSURE THAT THE LINES ARE CLEAR OF ALL OBSTRUCTIONS AND ARE FUNCTIONING PROPERLY.

SUBMITTALS

CONTRACTOR SHALL PROVIDE THE ARCHITECT AND/OR ENGINEER WITH PRODUCT DATA AND SHOP DRAWINGS FOR ALL MATERIALS AND EQUIPMENT SPECIFIED HEREIN. THE CONTRACTOR SHALL SUBMIT A MINIMUM OF FIVE (5) COPIES OF SHOP DRAWINGS AND PRODUCT DATA UNLESS NOTED OTHERWISE IN THE PROJECT MANUAL. A MINIMUM OF THREE (3) OF THESE WILL BE RETURNED FOR THE CONTRACTOR'S FILE AND FOR OPERATION AND MAINTENANCE MANUALS. SUBMITTAL DATA SHALL INCLUDE AT A MINIMUM:

1. COVER SHEET WITH NAMES AND ADDRESSES OF PROJECT ARCHITECT, MPE ENGINEER, GENERAL CONTRACTOR AND SUBCONTRACTOR.
2. DRAWING REFERENCE NUMBER, PRODUCT NAME AND/OR DESCRIPTION OF THE ITEM.
3. INDEX OF ALL DATA IN SUBMITTAL.
4. DIMENSIONAL DATA AND SKETCHES SHOWING THAT THE SUBMITTED EQUIPMENT WILL FIT INTO THE SPECIFIED SPACE AVAILABLE AND WILL HAVE REQUIRED CODE AND MAINTENANCE CLEARANCES.
5. INDENTIFICATION OF EACH ITEM MATCHING THAT INDICATED ON THE DRAWINGS.
6. SUFFICIENT PERFORMANCE DATA, CAPACITY, SOUND DATA, DIAGRAMMATIC DATA AND DESCRIPTIVE INFORMATION TO SHOW ITS COMPLIANCE WITH THE CONTRACT DOCUMENTS, OPTIONS OR SPECIAL REQUIREMENTS SAHLL BE CLEARLY INDICATED. APPLICABLE INFORMATION SHALL BE CLEARLY HIGHLIGHTED AND NON-APPLICABLE DATA SHALL BE CROSSED OUT.
7. MATERIALS AND EQUIPMENT PURCHASED OR INSTALLED WITHOUT A "NO EXCEPTIONS TAKEN" SHOP DRAWING REVIEW SHALL BE AT THE RISK OF THE CONTRACTOR. THE COST OF THE REMOVAL AND REPLACEMENT OF SUCH MATERIALS WHICH ARE JUDGED UNSATISFACTORY BY THE ARCHITECT OR ENGINEER FOR ANY REASON SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

PIPING INSULATION

COLD AND HOT WATER PIPING AND VALVES SHALL BE INSULATED WITH NOMINAL 1/2" WALL THICKNESS IMCOLOCK PIPE INSULATION, OR AN APPROVED EQUAL HAVING A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DENSITY OF 50 OR LESS WHEN TESTED IN ACCORDANCE WITH ASTM E-84 METHOD.

PLUMBING SPECIFICATION NOTES

WEBB ARCHITECTS
ARCHITECTURE PLANNING URBAN DESIGN
5918 KIRBY DRIVE SUITE 946
HOUSTON TEXAS 77005
713.522.5944

08 JAN 2009

JacobWhite CONSTRUCTION COMPANY
PO Box 890688
Houston, Texas 77289
281.286.6666

REVISION
ISSUED
26 MAY 2009

CHRISTUS ST JOHN
NEW PHYSICAL THERAPY FACILITY
2800 MARINA BAY DRIVE SUITE P
LEAGUE CITY, TEXAS

DRAWING TITLE

08.020 PROJECT NUMBER
DRAWING FILE NAME
26 MAY 2009 DATE
SCALE
DRAWING NUMBER
P2.0

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SPECIAL MECHANICAL NOTES:
1. HVAC EQUIPMENT IS EXISTING ON ROOF.
2. NO NEW EQUIPMENT IS BEING ADDED.
3. WORK CONSISTS PRIMARILY OF RELOCATING/REBALANCING EXISTING SYSTEMS + DUCTWORK TO FIT NEW CEILING LAYOUT

MECHANICAL PLAN

1/8"=1'-0"

1

WEBB ARCHITECTS
ARCHITECTURE
PLANNING
URBAN DESIGN
5918 KIRBY DRIVE SUITE 916
HOUSTON TEXAS 77005
713.522.5944

29 JUNE 2009

JacobWhite CONSTRUCTION COMPANY
PO Box 890688
Houston, Texas 77289
281.286.6666

REVISION
ISSUED
26 MAY 2009

CHRISTUS ST JOHN

NEW PHYSICAL THERAPY FACILITY

2500 MARINA BAY DRIVE SUITE F
LEAGUE CITY, TEXAS

DRAWING TITLE

08.020 PROJECT NUMBER

DRAWING FILE NAME

26 MAY 2009 DATE

SCALE

DRAWING NUMBER

M1.0

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PANELBOARD SCHEDULE

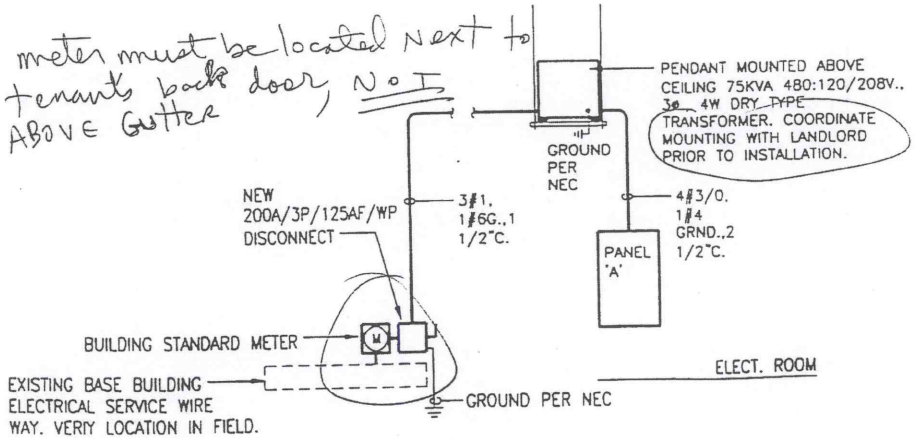
DESCRIPTION	POLES / AMPS	LOAD, VA: LIGHTING	RECEPT	KITCHEN	MOTOR	HEATING	OTHER	CKT	PHASE A	B	C	CKT	OTHER	HEATING	MOTOR	KITCHEN	RECEPT	LIGHTING	AMPS / POLES	DESCRIPTION
								1				2	1000						1/20	PHONE SYSTEM
RECEPTACLES	1/20		1080					3				4			500				1/20	WASHER
RECEPTACLES	1/20		1080					5				6		1500					2 / 30	DRYER
COPIER	1/20		1000					7				8		1500						—
PRINTERS	1/20		500					9				10					500		1/20	POOL GFI
RECEPTACLES (PC)	1/20						600	11				12			900		50		1/20	POOL PUMP+HEATER
RECEPTACLES	1/20		540					13				14								SPARE
RECEPTACLES	1/20		900					15				16						1150	1/20	OPEN AREA LIGHTING
RECEPTACLES	1/20		900					17				18						1000	1/20	OPEN AREA LIGHTING
RECEPTACLES	1/20		360					19				20						1100	1/20	OFFICE LIGHTING
COFFEEMAKER	1/20			1500				21				22						800	1/20	POOL LIGHTING
MICROWAVE	1/20			1500				23				24			2600				3 /	AC-1 + CU-1
REFRIGERATOR	1/20			1500				25				26			2600					—
RECEPTACLES	1/20		360					27				28			2600				/ 30	—
DEDICATED RECEPTACLE	1/20		1000					29				30			3000				3 /	RTU-1
RECEPTACLES (PC)	1/20						900	31				32			3000					—
HOT PACK MACHINE	1/20					1000		33				34			3000				/ 40	—
DEDICATED RECEPTACLE	1/20		1000					35				36			2433				3 /	RTU-2
DEDICATED RECEPTACLE	1/20		1000					37				38			2433					—
DEDICATED RECEPTACLE	1/20		1000					39				40			2433				/ 25	—
FREEZER	1/20				1000			41				42							1/20	SPARE
SPARE	1/20																		SUB-TOTAL	
SUB-TOTAL																				

DESCRIPTION:		
A	MOUNTING:	RECESSED
	VOLTAGE:	120/208V., 3ø, 4W.
	MAINS SIZE:	225A RATED CU. BUS
	MAINS TYPE:	200A, M.C.B.
	PANEL TYPE:	SIEMENS
	A.I.C	10 KAIC

CATEGORY	CONNECTED LOAD: KVA	AMPS	DESIGN FACTOR	DESIGN LOAD: KVA	AMPS
LIGHTING	4.05	11.25	1.25	5.06	14.05
RECEPTACLE	11.17	31.02	NEC	10.58	29.4
MOTOR	26.5	73.6	NEC	28.75	79.9
KITCHEN	4.5	12.5	NEC	4.5	12.5
WATER HTG			NEC		
HEATING	4.00	11.11	1.25	5.0	13.8
OTHER	2.5	6.9	1.25	3.13	8.7
TOTAL					158.35

place all boxes in most space-saving manner: leave room for future tenants

meter must be located next to tenants back door, NOT ABOVE Gutter



- place inside space NOT on sidewalk

01 / E3.0 **ELECTRICAL RISER DIAGRAM**

SCALE: NOT TO SCALE

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	LAMPS	BALLAST	WATTAGE	REMARKS
A	2X4 RECESSED FLUORESCENT 18 CELL PARABOLIC LITHONIA PARAMAX #2PM4 G B 3 32 18 LD 120	3 F32 T8	ELECTRONIC	95W.	
AE	SAME AS 'A' EXCEPT CENTER LAMP ON 3000 LUMEN BATTERY PACK BALLAST	3 F32 T8	ELECTRONIC	95W.	REFER TO LIGHTING NOTES FOR SPECIALTY SWITCHING CONTROL
B	2X2 RECESSED FLUORESCENT 9 CELL PARABOLIC LITHONIA PARAMAX #2PM4 G B 2 17 9 LD 120	2 17W. T8	ELECTRONIC	50W.	
C	PENDANT MOUNTED HIGH PRESSURE SODIUM AREA LIGHT MTD 12'-6" TO BOTTOM OF FIXTURE FROM FINISH FLOOR FURNISHED BY CONTRATOR	1 100W HPS	ENCAP	125W	
X	EXIT LIGHT RED LETTERS ON WHITE FACE WITH DIRECTIONAL ARROWS PER PLAN LITHONIA QUANTUM #LQW S W 1/3 R 120 EL N	LED	NONE	10W.	
X1	WALL MOUNTED BATTERY PACK EMERGENCY LIGHT WHITE FINISH LITHONIA QUANTUM ELM CDS N0606	LED	NONE	10W.	
X2	SAME AS X1 EXCEPT DAMP LOCATION FIXTURE LITHONIA QUANTUM ELM DL CDS N0606	LED	NONE	10W.	

STATE OF TEXAS
JAMES J. WOMACK
55291
REGISTERED PROFESSIONAL ENGINEER
10/11/02

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PROJECT:
SOUTH SHORE WEST SHOPPING CENTER
LEAGUE CITY, TEXAS

LOCATION:
1ST FLOOR

TENANT:
BAY AREA PHYSICAL THERAPY
SUITE 1XX

DATE: 10-09-02
SCALE: 1/8" = 1'-0"
DRAWN BY: D.S.S./BWG
CHECKED BY: JJW/JLB
PROJECT #:

REVISION	DATE

SHEET TITLE:
PANEL BOARD SCHEDULE
LIGHT FIXTURE SCHEDULE
RISER DIAGRAM

DRAWING NUMBER:
E3.0